

ARCHITECTURAL DESIGN MANUAL

GAPP ARCHITECTS & URBAN DESIGNERS

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1. INTRODUCTION

1.1. PURPOSE OF THE ARCHITECTURAL DESIGN MANUAL

The purpose of the architectural design manual (the Design Manual) is to provide design parameters for the proposed construction of additions and alterations to the existing houses on the Arabella Country Estate. The manual does not seek to limit creative expression, but rather to preserve the original design vision which, over the years, resulted in the development of this exceptional environment.

In updating the Design Manual, it is important to ensure that the unique sense of place is preserved, not only to protect the property values, but also to maintain the exclusive character of the Estate.

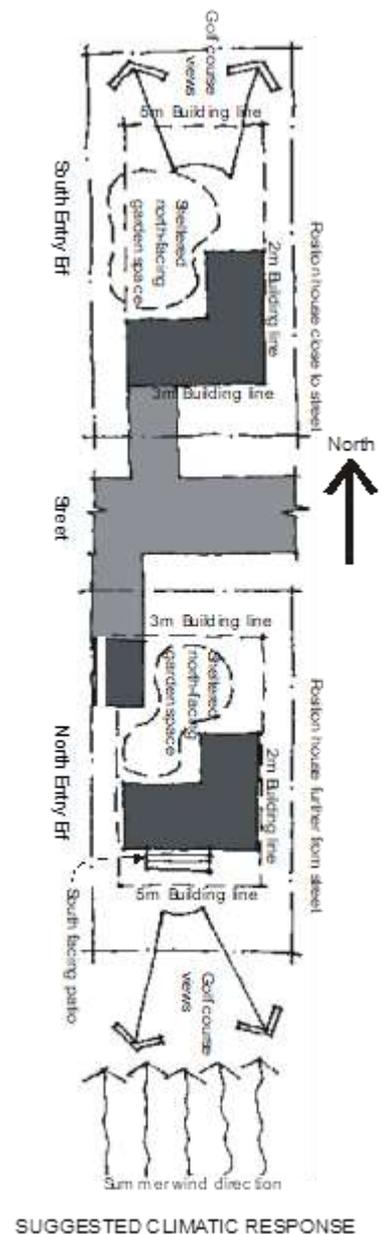
1.2. ARCHITECTURAL VISION

The Arabella Estate is located within an environmentally sensitive area adjoining the Bot River Estuary. The aesthetic principles embodied in the Arabella Country Estate Design Manual reflect an architectural character that is in harmony with its unique surroundings, that is sensitive to environmental and climatic design determinants and that has a sense of place.

High standards of architectural and environmental quality will be maintained to achieve a refined and distinctive overall effect.

The overall aesthetic vision is carefully considered and is extensive:

- it promotes an organic aesthetic through the use of natural materials such as slate, stone and timber, coupled with subdued earth colours through the strict control of materials and finishes
- it encourages optimum orientation for sun and wind and for access, views and vistas;
- it reminds us that buildings should form sheltered north-facing outdoor spaces and that we need wide low eaves and pergolas to shade walls;
- it limits the amount of space that can be built on each site and it controls the height of buildings;
- it governs the form and shape of landscaping and recommends the most suitable plants for both public and private areas. Please also refer to the Landscaping Design Manual.

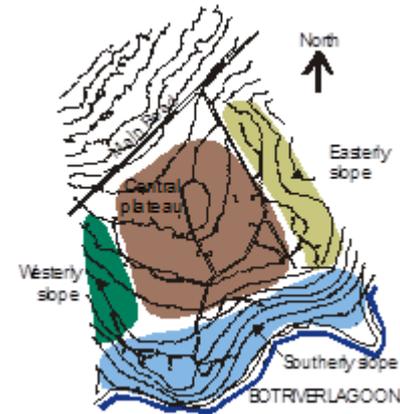


This aesthetic umbrella shelters our shared values from arbitrary and inappropriate forms but still leaves room for individual response and creative variation that contributes to the aesthetic vision of the Estate.

1.3. ENVIRONMENTALLY SENSITIVE DESIGN APPROACH

To encourage environmentally sensitive and energy efficiency, design consideration should be given to:

- Correct orientation of the house (See 2. below)
- Use of wide, low eaves and pergolas to shade walls
- Proper thermal insulation of roof areas
- Use of solar energy and solar boosted water heating
- Use of heat pumps for water heating and air conditioning
- Rainwater Harvesting



1.4. BY-LAWS AND REGULATIONS

These Design Manuals establish the architectural character of the Estate and are in addition to local authority by-laws and the National Building Regulations.

1.5. AMENDMENTS TO ARCHITECTURAL DESIGN MANUAL

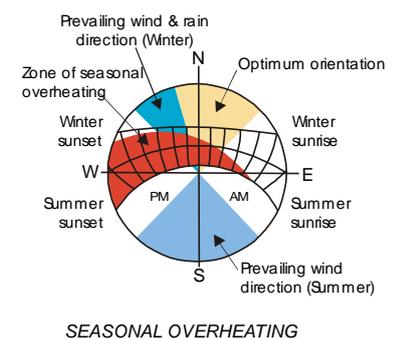
The Homeowners Association reserves the right to make minor adjustments and amendments to the design standards, as incorporated in these Design Manuals, as it deems necessary from time to time prior to the approval by the Local Authority.

1.6. ESTATE MANAGEMENT

The Homeowners Association will manage the Estate. All building work must comply with the approved plans and the requirements of the Estate Manager.

1.7. SPECIFIC EXCLUSIONS

The specific exclusions referred to in these Design Manuals are without exception and an owner may not include any of the specific exclusions in any building plan submitted for approval.



2. ENVIRONMENTAL DESIGN DETERMINANTS

2.1. SUN

Sunshine occurs in this region for approximately 67% of daylight hours each year, averaging between a maximum of 10,5 hours per day during summer, and 6 hours per day during winter.



Optimum sun orientation for heat control is north with outdoor living orientated between northeast and northwest. Seasonal overheating occurs on the north-western aspect of the building.

The most comfortable orientation for views and vistas varies between southeast and southwest. With the sun from behind there is no glare or reflection. Glare poses problems during sunny winter days with the sun low on the horizon.

Additions and alterations to existing houses should be sensitive to the intent of the original design of the house in terms of sun control and orientation, and should, in turn, take cognisance of the site-specific environmental design determinants.

2.2. WIND

The prevailing winds are from the south to southeast during the summer months, and from the northwest during the winter months. Landscaping will reduce wind velocity at ground level, and buildings should form sheltered north facing outdoor spaces.

2.3. RAINFALL

Typical of the Cape climate, most of the rain falls between May and September whilst the summer months are generally dry.

2.4. TOPOGRAPHY AND MICROCLIMATE

Additions and alterations to existing houses should take the topography and microclimate into account, with specific reference to the intent of the design of the original house.

3. SITING CONTROLS

3.1. ZONING

The residential area is zoned for single residential use only.

3.2. COVERAGE

Maximum coverage is 50% of the site. This includes all roofed areas and is measured to the external face of the outside walls.

3.3. HEIGHTS AND SETBACKS

The maximum height of any residential building is 7.5m above natural ground level measured from the average height of the area surrounding the building (see also 4.1). The building must setback at an angle not exceeding 45° from the street boundary and 40° from the golf course boundary.

3.4. VIEWS

The primary view lines of existing neighbouring buildings are to be considered in the design of additions in order to limit possible interruptions of exiting views.

3.5. BUILDING LINES

Building lines are predetermined for each site and are indicated on the relevant site plans. Certain sites have special building lines related to their shape or size. Generally building lines are 3m on the street boundary, 5m on the golf course boundary, and 2m on the side boundaries. The roof overhang may project over the prescribed building lines by 800mm.

3.6. STREET BUILDING LINE

The street building line is 3m within which no structures apart from garden walls, paved areas and steps may be built.

3.6.1. SIDE BOUNDARY / GARAGES AND CARPORTS

A Building line of 2m may be exceeded by garages and carports with flat roofs (see also 5.4 below) built up to 800 mm from the side boundary with a total wall length not exceeding 8m and height not exceeding 3.0 m measured from finished floor level to the highest point. Floor level not higher than 300mm above natural ground level. Carports may be built on the boundary. No window or door opening is allowed in walls nearer than 1 meter from any boundary. (See also 7.1.2)

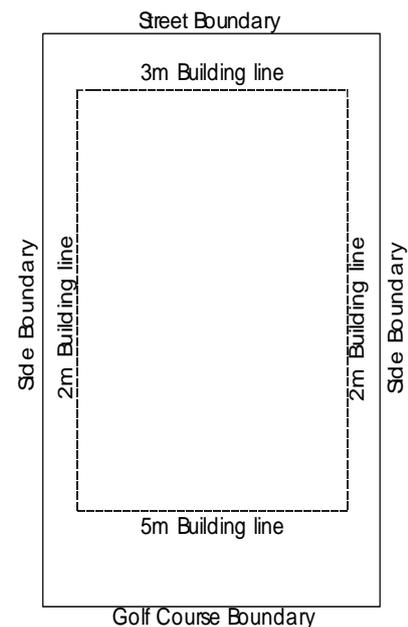
3.6.2. GOLF COURSE / COMMON AREAS INTERFACE

The architecture of any building should be designed to minimise the visual impact from the golf course / common areas. Preferably these structures are to be designed with light-weight material and to be visually permeable as much as possible.

There is an Estate building setback line of 5m along the golf course boundary, as well as a Local Authority setback line of 3m. Please refer to the site-specific diagrams attached as Annexure B.

This will apply as follows:

- For properties with a **direct interface** with the golf course (less than 25m from tee-boxes, fairways and greens) the following will apply:
 - Within the 5m Estate setback zone no structures, terraces or retaining walls higher than 1m above natural ground level will be permitted and such walls are to be sloped at an angle not exceeding 40° towards the golf course boundary. Open pergolas up to the 3m building line, but not beyond, is permissible provided they do not exceed the 40° angle. (See 6.3 and 7.1.1).



TYPICAL BUILDING LINES

- For properties with a **less direct interface** with the golf course (Between 25 and 50m from the tee-boxes, fairways or the greens), the following will apply:
 - Within the 3m Local Authority setback zone no structures, terraces or retaining walls higher than 1m above natural ground level will be permitted and such walls are to be sloped at an angle not exceeding 40° towards golf course boundary. Pergolas to a maximum height of 3m but not exceeding the 40° angle sloping towards the boundary will be permitted up to 3m from the boundary. Provided the pergola is attached to the house, it may be painted and covered with concealed translucent sheeting. Chimneys for braai areas must be attached to the house and may not exceed the 40° angle. (See 6.3 and 7.1.1).
- For properties with an **indirect interface** with the golf course (50 to 75m from the tee-boxes, fairways and greens), the following will apply:
 - Within the 3m Local Authority setback zone no structures, terraces or retaining walls higher than 1m above natural ground level will be permitted and such walls are to be sloped at an angle not exceeding 40° towards golf course boundary. Structures constructed in natural hardwood or aluminium and supported on either timber, brick, aluminium or natural sandstone columns with flat roofs to a height of 3m and not exceeding the 40° angle sloping towards the golf course boundary, will be permitted up to 3m from the boundary. Flat roofs are to be concealed behind timber facias and have open eaves. Brick or stone columns may not be less than 345mm². Such structures may be attached to the house and the sides must be enclosed with glass to a minimum of 80%. Chimneys for braai areas must be attached to the house and may not exceed the 40° angle. (See 6.3 and 7.1.1).
- For properties with **no interface** with the golf course (More than 75m away from the tee-boxes, fairways and greens), the following will apply:
 - Within the 3m Local Authority setback zone no structures, terraces or retaining walls higher than 1m above natural ground level will be permitted and such walls are to be sloped at an angle not exceeding 40° towards golf course boundary. Structures constructed with brick or timber with flat roofs to a height of 3m and not exceeding the 40° angle sloping towards the golf course boundary, will be permitted up to 3m from the boundary. Brick and glazed structures with

flat roofs to a height of 3m not exceeding the 40° angle sloping towards the golf course boundary, will be permitted up to 3m from the boundary. Flat roofs are to be concealed behind timber facias and have open eaves. Parapet walls are not permissible and are specifically excluded. Chimneys for braai areas must be attached to the house and may not exceed the 40° angle. (See 6.3 and 7.1.1).

4. SLOPING SITES

4.1. GENERAL

Additions and alterations must be sensitive to the site-specific topographical conditions and the design of the original house. The design of any additions must be sympathetic to the design intent of the original house.

A Land Surveyor must confirm the levels and/or contours shown on the Site Plan of the proposed house.

4.2. RETAINING AND/OR UNDERGROUND STRUCTURES

Retaining structures must be in natural sandstone, earth-coloured, concrete or plastered and painted brickwork. Limited use of earth-coloured retaining blocks may be made. Adequate and effective structural waterproofing and ventilation must be provided for underground rooms, cellars or storage.

5. ARCHITECTURAL DESIGN CONTROLS

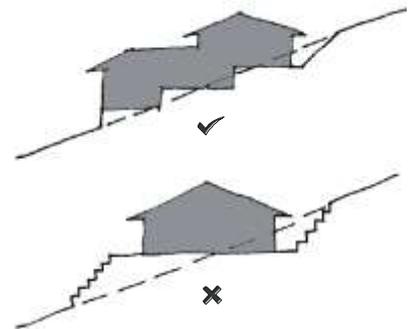
5.1. LOFT ACCOMMODATION

The elemental composition of the building shall be a clearly articulated horizontal ratio of a roof zone and, a glazed/solid wall zone. Any loft space should not exceed 30% of the ground floor area including the garages.

Note: The upper accommodation must form part of the overall roof design and not be presented as a double storey building. This will be applied according to the discretion of the Arabella Homeowners Association.

As a once-off retrospective measure applicable to existing houses only, where habitable accommodation in roof spaces exceeding the previous 30% limit (excluding the area of the garage), is possible in terms of the National Building Regulations, without changing the existing roof profile, will be considered to the discretion of the Arabella Homeowners Association.

Note: The above concession will only apply to existing houses completed before the acceptance of the revised Design Manual by the



SELECT APPROPRIATE HOUSE DESIGN
TO MATCH SITE CONDITION

Arabella Home Owners Association. For any later proposed additions, the limit of 30%, including the garage area will apply.

5.2. ROOFS, EAVES AND GUTTERS

The roof should be double pitched and simple in shape. Single pitched roofs may be permissible in certain instances. Roofs may be hipped or gable ended and must extend over the external walls. Lofts must conform to the restrictions in 4 above. Upper walls (except gable ends) and dormer construction must be clad in slate, glass or horizontal timber shiplap boarding. The shiplap boarding must be painted two shades darker than the lower walls.

5.3. PITCHED ROOFS

A pitched roof is a roof that slopes downwards with a slope of 7° or more, typically in two parts at an angle from a central ridge, but sometimes in one part (mono pitch), from one edge to another.

Roof material must be a natural slate, colour to be approved by the Homeowners Association. No other materials shall be allowed. Mono-pitched roofs with full height side and gable walls are discouraged and require clerestory glazing if utilized.

5.4. FLAT ROOFS

Flat roofs (with an angle less than 7°) must be limited in extent, and the total area for all the flat roofs may not exceed 50m². These could be used for garages and bathrooms. No single flat roof area may be larger than 40m².

3D models indicating the extent and visual effect of the flat roofs will be required where the total area of all flat roofs extend 40m².

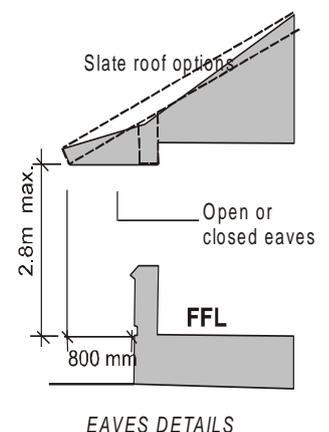
All flat metal roofs must be finished in a non-reflective paint.

5.5. EAVES

Eaves may be closed or open. Maximum height above finished floor level is not to exceed 2,8m. Hipped roofs to project over the walls by a minimum of 800mm and a minimum of 400mm for gable-end roofs. The overhang may be reduced to accommodate architectural features and projections within the building line, these may not constitute more than 15% of the total eaves perimeter.

5.6. GUTTERS

Because of the wide eaves, gutters are optional. Where not used, provision must be made for a splash apron to dissipate the water. Storm water may be dispersed over the golf course, depending on the soil conditions, or street.



Gutters should be concealed either within the roof or behind facias and the connector branches to the down pipes must be concealed within closed eaves. Down pipes must be mounted flush on walls and match the colour of the external wall. Any external gutter must be in seamless aluminium matching the house colour. However, no stormwater may be channelled into the estate sewage system.

SPECIFIC EXCLUSION

- UPVC or plastic gutters
- Angled connector branches to downpipes

5.7. EXTERNAL WALLS

Walls must be plastered and painted. Plinths of stone or textured plaster may be used. No face brick or semi-face brick or exposed concrete blocks may be used.

SPECIFIC EXCLUSIONS

- Decorative plaster such as Spanish plaster
- Ornate mouldings
- Face or semi-face brick
- Bagged brickwork

High-quality burnt clay bricks laid fair face with flush joints and skim plaster of high quality may be allowed after written application and approval by the Homeowners Association. A display sample is to be seen at the estate office.

Limited use of horizontal shiplap panels as cladding to create a feature wall is permissible but limited to ground floor. This must however be associated with a visual accent point such as a front door, picture window or approach. The total area of such panels is limited to a maximum of 20% of the total elevation of the affected wall. The colour of such panels must be in strong contrast to the predominant wall colour.

GENERAL INCLUSIONS

- Smooth or textured plaster in earth colours approved by the HOA
- Approved coloured plaster

5.8. WINDOWS, DOORS, SHUTTERS

Openings should be large to generate a spacious and airy quality, and to optimise on views. Openings should be protected from sun and rain by large overhangs, sliding shutters and/or pergolas. All glass to be approved and to conform to National Building Standards and be compliant to SANS XA sustainability requirements.

5.8.1. WINDOWS

Window frames must either be in timber, anodised/powder-coated aluminium, or a combination of the two. Window frames must be in terms of the prescribed colour range and to approval by Arabella Estate Manager (grey, brown, bronze for aluminium), (natural or painted according to the approved colour range for timber). No steel window frames or precast concrete window systems may be used. Reflective glazing is not allowed. (See also 14). Non-reflective tinting will be allowed.

SPECIFIC EXCLUSIONS

- Mirror/reflecting tinting
- Small paned windows
- Tinted reflective glass
- Steel frames
- Fake shutters
- Highly decorative doors
- White frames
- Natural Aluminium

5.8.2. DOORS

For doors facing the street, natural timber is preferred, aluminium doors will be considered with prior written approval of pattern and colour.

GENERAL INCLUSIONS

5.8.3. SHUTTERS

Shutters may be used for sun control and/or privacy. Shutters must either be in aluminium or timber to match the colour of the window frames and/or walls as per the approved colour scheme. Shutters must be of the horizontal sliding variety. No cottage or Cape Dutch type shutters may be used.

- Powder coated/anodised aluminium frames
- Natural or painted timber windows

6. GATES, SCREENS, BALUSTRADING, PERGOLAS & AWNINGS

6.1. GATES & SCREENS

Pedestrian Gates and screens must be dark brown slatted hardwood or painted textured fibre cement panels or brass or grained aluminium in a colour to match the garage door.

Personalised special designed steel gates will be allowed to the discretion of the Arabella Home Owners Association.

(All colours to approved colour palette).

Burglar Bars are allowed providing they are of a clear bar type and Safety Doors are discouraged. Any exceptions will have to be approved by the Homeowners Association.

SPECIFIC EXCLUSIONS

- Decorative wrought iron/cast aluminium e.g. Victorian brookie lace
- Concertina or other type steel security gates
- Gum pole pergolas
- Exposed translucent sheeting
- Fixed or fold-away aluminium awnings
- Creosoted treated timber
- Bright/striped canvas

6.2. BALUSTRADES AND BALCONIES

Balcony and veranda balustrades must be in keeping with the architecture of the house, and must either be in natural or painted hardwood or metal and/or glass to comply with approved colours. Brickwork balustrades must have a timber or metal handrail.

Balconies within the pitched roof must be fronted in slate. Those on gable ends must be fronted with balustrades. Balconies must not exceed 30m² in total area.

GENERAL INCLUSIONS

- Timber, painted steel, brass aluminium or stainless-steel balustrades
- Concealed translucent sheeting under pergolas
- Horizontal folding/sliding canvas shade system
- Plain colour canvas

6.3. PERGOLAS, DECKS AND TERRACES

Pergolas must be constructed in natural hardwood, aluminium or imitation wood-grained aluminium and supported on either timber, brick or natural sandstone columns. Brick or stone columns may not be less than 345 x 345 mm and are limited to the ground floor only. Pergolas to balconies at loft level must be in timber. Decks and terraces may be constructed beyond the building line provided they are no higher than 1m above the natural ground level.

Pergolas may be constructed beyond the building line, except the 3m Local Authority building line in the golf course setback zone as described in 3.6.2. Pergolas constructed over the side- and street building lines may not be covered or enclosed at any stage unless they are attached to the house in which case, they have to be painted in

SPECIFIC EXCLUSIONS

- Prefabricated garage/carport units
- Visible translucent sheeting

matching house colours and may be covered with concealed translucent sheeting. See 3.6.2 and 7.1.2.

6.4. AWNINGS

Sun control shall be by means of a wide overhang, shutters or planting. No clip-on aluminium or canvas awning systems may be used over windows or doors. A horizontal folding or sliding canvas system for patios and pool decks is allowed. No brightly striped canvas may be used. the colour of the canvas is to be according to the approved colour palette. Any shade cloth structures to be erected must have the approval of the Aesthetics Committee.

7. PARKING, GARAGES & CARPORTS

7.1. PARKING

Parking for three cars must be provided on each erf.

7.1.1. GARAGES

A maximum of one double garage may be built per erf. Garage doors are to be natural timber or aluminium tip-up or segmented roll-up doors. The patterns and colours of the aluminium doors are to be pre-approved by the Homeowners Association. The patterns and colours of the aluminium doors are to be according to the selection of samples pre-approved by the Homeowners Association.

7.1.2. CARPORTS

Carports must have a flat-pitched translucent roof that is hidden behind a timber fascia. Supports must either be in big timber sections or brick columns. The sides may be trellised and planted with creepers. Patented prefabricated carport systems may not be used. Carports may be painted in matching house colours provided it is attached to the house. See 6.3.

7.1.3. GOLF CART CARPORTS

Provision for storage of golf carts is permissible, and must be constructed according to the requirements as stipulated in Clause 7.1.2 - CARPORTS

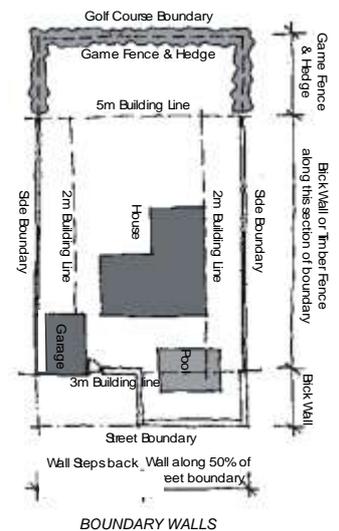
Where carports for golf crats are constructed against the boundary, note must be taken of Local Authority and National Building fire regulations.

Street facing doors to carports for golf carts are not to be wider than 2m. Where carports are located directly adjacent to street facing garages, the doors are to be set back a minimum of 1.5m from the face of the garage doors to prevent a monotonous street interface. Doors are to be of natural timber or aluminium tip-up or segmented roll-up

- Temporary/makeshift structures

GENERAL INCLUSIONS

- Construction and finishes to match main structure
- Adjustable Aluminium louvres behind timber facias for pergolas



doors. The patterns and colours of the aluminium doors are to be according to the selection of samples pre-approved by the Homeowners Association. See Clause 7.1.1.

7.1.4. KITCHEN YARDS

Kitchen yards with access from the street - must be provided and be enclosed with a fence or wall on all sides. Wash lines, garbage bins and gas containers may not be visible from either the road or golf course.

Where the above is visible from any of the neighbouring properties, written permission should be obtained from the affected property owners.

Gas bottle enclosure to comply with National building Regulations and to be enclosed in the same way as air conditioners. Clause 17.5.

8. OUTDOOR LIVING AREAS & PRIVATE GARDENS

- **Privacy** – It is a recommendation that outdoor living areas such as pool decks and terraces should as far as possible be positioned such that the building shelters it. Additional walls and fences may be erected to secure privacy, provided these comply with the Design Manual in respect of walls and fences.
- **Orientation** - It is recommended that outdoor living spaces are oriented to the benefits of sun, wind, shelter and views as covered in full under the climate section. (See 2.1 and 2.4)
- **Private gardens** – must be managed and maintained by the owner or his appointee. Plants must comply with the Landscape Architect's approved plant list available from the Homeowners Association in accordance to the Landscaping Design Manual.

9. BOUNDARY WALLS AND FENCES

As general rule boundary walls are not encouraged. However, where it is a matter of privacy such as around swimming pools, boundary walls may be built according to the following guidelines contained in the Design Manual:

- Plastered and painted walls may be built on the street boundary for a distance not exceeding 50% of the length of that boundary. The height of the boundary wall may not exceed 1.8m above N.G.L.
- Along the side boundaries, behind the street building line, timber picket fences may be erected as an alternative to plastered and painted brick walls. The height of side boundary wall/fence may be constructed to a height of 2.1m where additional privacy is required for a distance not exceeding 25% of the total length of the boundary, with the

SPECIFIC EXCLUSIONS

- Concrete panel walls
- Barbed wire fencing
- Diamond mesh fencing
- Un-plastered brick or block walls
- Face brick walls
- Log type fences
- Concrete or steel palisade fencing
- Walls or fences along golf course boundary

balance of the wall/fence not to exceed 1.8m above N.G.L. Boundary walls may not project beyond the golf course setback line. Elevations of these walls and/or fences must be shown on the building plans submitted for approval.

- No wall or timber fences are permitted on the golf course boundary or within the 5m setback line. Visually permeable steel fences, painted black or dark green, such as 'Clear Vue' or similar in order to securing swimming pools to a maximum height of 1.2m above the natural ground level is permissible. Planting along such a fence is encouraged and must conform to the landscapers approved plant list and in accordance with the Landscaping Design Manual.
- Boundary walls and fences must be approved by the Home Owners Association before being submitted to Kleinmond Municipality for approval.

GENERAL INCLUSIONS

- Dark, brown timber fencing (picket or lattice)
- Plastered brick or block walls

10. CHIMNEYS

Chimneys – These must be important elements in the architectural composition and it is recommended that each house has a chimney as an architectural focus.

Material - Chimneys must be built in natural sandstone laid in a horizontal random pattern. Sandstone to be between 60 to 150 millimetres in thickness.

Cowls – Wind cowls must be made of a non reflective/non-corrosive material.

Height – In terms of efficient operation, chimneys should be higher than the nearest ridge however the chimney height may be varied at the discretion of the architect, provided that the responsibility for its proper function will be his.

Stove Type Fire Places - External stainless steel flue pipework is permissible against external walls of the houses or for braais fully detached from the structure of the house. These flues should not extend more than 1m above the roof exit and diameter not to exceed 200mm.

SPECIFIC EXCLUSIONS

- Exposed metal flues
- Exposed fibre cement flues & cowls
- Smooth sandstone tiles

GENERAL INCLUSIONS

- Natural sandstone 60 to 150mm thick

11. SWIMMING POOLS

Filtration Units – Only salt water filtration systems may be installed. These may not be visible from the road, golf course or adjacent properties. Filtration units must be hidden behind a plastered and painted brick or stone wall. Backwash pipes to be connected to the sewerage system of the dwelling.

Safety - Pools and safety fences must comply with SABS 0400/DD4. Safety fences within the 5m zone must be in painted steel. Colour - black, charcoal or dark green. 1.2m above natural ground level (see

SPECIFIC EXCLUSIONS

- Portable pools above ground level
- Visible pump and filtration units

GENERAL INCLUSIONS

- SABS 0400 / DD4

also 3.6.3). Restricted use of frameless glazed balustrades to the length of the swimming pools is allowed but should be associated to the surrounding paving/deck and governed by the dimensions of the pool.

Elsewhere on the erf plastered and painted walls, timber and safety glass may be used. All of the above must conform to SABS 0400/DD4. Walls and fences may not exceed 1,8m above natural ground level (NGL).

Planning – Pools must be constructed to local authority approval. As per South African Standard SABS 0134-1997 Code of Practice for “The safeness of private swimming pools”, pool nets and covers are not considered as providing adequate safety on their own and may only be used in conjunction with the standard pool safety fence.

Capacity – Pool capacity may not exceed 60 000 litres, irrespective of pool size.

- *Concealed filtration units*
- *Pool surrounds to match general paving*
- *Standard pool safety fences and gates*
- *Clear-Vu fences or similar approved*

12. SIGNAGE & HOUSE NAMES

Size - House numbers and letters must be acceptable to the H.O.A. and not be smaller than 0.5 m²

Position - House numbers must either be placed on the house or on the garden wall in a visible position and preferably be lit at night.

Post boxes – Post boxes at the houses will not be required, as there will be a central post facility.

13. INTERIOR DESIGN

There are, in principle, no constraints on interior design, however the use of white as a colour is discouraged when viewed from the exterior. White curtain linings, shutters and blinds present too harsh a view in relation to the earthy colours approved for the exterior and should not be used.

14. PAVING MATERIAL

Paving within the street building line shall be either in concrete or brick pavers to match what is used at road intersections. Materials and colours must be to approval of the Estate Manager (See also 17.6 Electrical Supply).

SPECIFIC EXCLUSIONS

- *Building- or half bricks*
- *Tarred driveways*

15. COLOURS

External colours must reflect soft subdued earthy tones such as ochre, sandstone, beige, grey and autumn shades. Bright and contrasting colours must be avoided. These include red, orange, yellow, blue, purple, pink and black.

SPECIFIC EXCLUSIONS

- *Bright primary colours*
- *Large areas of black and white*

A range of approved colours are displayed at the estate office.



Plaster bands, window sills may be painted two tones darker than the colour of the walls. For approval by the Committee.

- A sample within that range should be chosen
- 1m² to be painted on the house
- Estate manager to approve

When repainting, colour of houses to be approved by the Estate Manager.

All external colours must conform to the display samples at the HOA Office.

GENERAL INCLUSIONS

- *Earthy tones*
- *Darker primary colour accents*

16. SUSTAINABILITY

In general, sustainability measures are encouraged subject to the following:

16.1. Water Storage

To allow installation of limited water storage/harvesting tanks (Jo-Jo's)/grey water systems, providing they are:

- 1500 litre slimline tanks positioned against the external wall and under the roof overhang
- In an earthy colour or matching the colour of the walls
- Must not be visible. (The rule for geysers, gas bottles, air-cons, etc. should apply i.e. the tanks/systems would need to be appropriately screened Refer to Clause 17.5). Written permission from the affected neighbours should be obtained if total screening is not possible

Application should be made at the Homeowners Association for approval before installation.

16.2. Alternative Energy Saving Products

Installation of environmentally friendly, alternate energy saving products will be encouraged. Consideration will be given and application should be made at the Homeowners Association for approval.

16.3. Solar Panels - Water Heating

Solar water heating panels must be black aluminium and placed flat against the north facing roof slope of pitched roofs and may not have external tanks. Freestanding solar panels on flat roofs are not generally permitted. If panels are not visible from the street, golf course or neighbouring property, it might be applied for as a departure to this clause. However, separate permission is to be obtained from the AHOA.



Pipework on the roof must be black and on walls, the same colour as the wall.

16.4. Solar Panels - Photo Voltaic

Solar PV panels must be placed flat against the roof slope of pitched roofs. Written approval of the neighbours and AHOA must be obtained prior to installation. Panel frames are to be black aluminium, similar to water heating panels described in clause 16.3 above.

17. MISCELLANEOUS

17.1. Plumbing

Exposed plumbing is discouraged, however, if used it must not be visible from either the road or the golf course. and must be permanently enclosed and/or match the colour of the wall behind the pipes.

17.2. Boreholes

The sinking of boreholes on erven is explicitly prohibited.

17.3. Aerials

Position of satellite dishes and aerials must be positioned to approval of the Estate Manager and painted the same colour as the walls where visible

17.4. Refuse

Refuse bins must be hidden behind walls or structures.

17.5. Air conditioning and Heat Pumps

Air conditioners or heat pumps may **NOT** be visible from the street, the golf course or neighbouring properties. The enclosure must be permanent and to be painted in matching house colours.

17.6. Electrical Supply

Property owners must comply with the Standard Conditions of Electrical Supply as issued from time to time by the Estate Manager. Only 60-amp single phase electricity supply can be guaranteed. Provide three 110mm diameter PVC conduits under the paving that crosses the sidewalk. Conduits to be at 600mm below NGL.

New legislation for houses exceeding the market value of R750 000 will be affected by new legislation – (See Department of Minerals and Energy – Electricity Regulations Act 2006)

17.7. External Lighting

To avoid light pollution and light nuisance, external lighting should be low voltage and energy efficient. External lighting for houses and gardens must be subdued (+/- 1 lux) and be directed downward (or upward) to prevent glare and to avoid throwing light onto neighbouring property. Lights should not be set higher than 1200mm above ground level.

17.8. Noise

All external equipment, generators, pool pumps, etc. should be enclosed to ensure that noise levels are within legal controlled limits.

17.9. Garden/storage sheds

Garden sheds are permissible subject to approval of the Homeowners Association. Such structures must be attached to the main house and not exceed 2m² in size and may not exceed 1.8m in height. The use of timber/textures fibre cement panels with detailing similar pergolas or carports is encouraged. Structures are to be treated natural timber or painted the same colour of the main structure. If it is visible from the neighbouring property, written approval is required. No untreated sheet metal cladding or roofing is permissible.

17.10. Protection of windows against golf balls

Applications for screens and netting for the protection of windows to houses must be done as a building related application in terms of this design manual.

Windows are preferably to be protected with a nylon or steel mesh in fixed framed panels attached to the structure of the house.

- the frames of the panels and nylon or steel mesh should be painted black.
- the size of the panels should not exceed the size of the window by more than 100mm around the edges of the window opening to allow for fixing.
- where outward opening window sections make the use of fixed panels for protection impractical, free-standing netting is permitted.
- netting should be positioned no more than 1m from the affected window and should not exceed the size of the window opening by more than 300mm.
- netting should be securely fixed into a free-standing black steel frame, or attached to the roof overhang, the natural ground and/or into paving.
- netting should be black and not have openings smaller than 25mm x 25mm.

SPECIFIC EXCLUSIONS

- *Prefabricated storage sheds*
- *'Wendy' house type storage structures*

- cabling (steel or nylon) is required along the perimeter, as well as at regular intervals along the net, to ensure that it remains stretched taut at all times.
- where netting on the owner's property affects the views or is visually prominent to the neighbours, consent from such affected neighbours is required.

17.11. Protection of houses against golf balls - netting and screens

Where more substantial protection is required with netting and screens not on the homeowner's property, such an application must be done in terms of the Landscaping Design Manual. Such an application must include the exact location on the common property, the height and extent of the proposed netting and some structural drawings confirming the stability of the netting structure.

The following principles will apply:

- Applications should include a tree planting plan, to, on the longer term, provide adequate protection. Netting should be viewed as an interim medium-term solution, with mature trees eventually replacing the netting. The positioning of netting should allow for sufficient room for tree growth.
- Where netting is erected on common property, consent from affected neighbours is required.
- Netting should not exceed 4m in height and should not exceed 10m in length. Should more protection be required, the netting should be staggered and erected in various segments, not exceeding the aforementioned parameters. Applications for netting higher than 4m will be treated as a departure to the requirements and will have to be appropriately motivated.
- Netting support structures are to be constructed with steel and painted black.
- Netting should be black and not have openings smaller than 20mm x 20mm and not larger than 30mm x 30mm.
- Cabling (steel or nylon) is required along the perimeter, as well as at regular intervals along the net to ensure it remains stretched taut at all times.
- Confirmation that the structure is sound and will withstand high winds is required from a structural engineer. Stay wires and other support cables might be required to ensure the stability of the structure.
- Stay wires and anchors which may create a tripping or safety hazard should be appropriately marked. Planting shrubbery next to stay wire anchors may assist to create hazard protection.
- Maintenance to the netting structures will remain the responsibility of the applicant.



18. RESPONSIBILITY

This Design Manual does not absolve the house owner from complying with the National Building Regulations and the requirements of the Local Authority. Approval by the Homeowners Association does not absolve the owner from complying with the standards set by the Architectural Design Manual.

19. APPROVALS

All building plans for new work as well as for alterations to existing structures must be prepared by Professional Architects or Professional Architectural Technologists, registered with the South African Council for the Architectural Profession. Completed plans, including Appendix 1, are to be submitted electronically in PDF format to GAPP Architects & Urban Designers at Office@ctn.gapp.net together with proof that the requisite scrutiny fee payable to the Arabella Country Estate Home Owners Association has been paid or confirmation that arrangements for payment have been made.

GAPP Architects and Urban Designers have been appointed by Arabella as the Consulting Architects and will examine these plans and make recommendations in regard to approval, interpretation, exceptions and waivers.

After scrutiny, stamped electronic copies with recommendations for approval will be returned to the architect, which must submit paper copies to the Homeowners Association for approval.

Only after approval by the Homeowners Association must the architect/owner submit these plans to the relevant local authority (Kleinmond). Approved plans must be acted upon within 12 months or approval will lapse and approval will have to be sought again.

20. DISCLAIMER

It should be noted that these updated Design Manual have resulted from an evaluation by Arabella Country Estate of houses designed and built to date. Modifications have been introduced to further clarify the intent and character of the original concept. Certain design features of existing buildings that were approved and built before the above date may not be used as precedent nor may the previous Design Manual, illustrations and sales literature be used to justify departures. Any plan submitted after May 2022 is obliged to comply with this updated Design Manual.

21. GENERAL

The site must be protected during construction by a 1.5m high shade-cloth fence firmly fixed along all boundaries.



During construction the Building Contractors Code of Conduct must be followed and on completion, Certificates must be obtained confirming compliance with the Architectural Design Manual and the Building Contractors Code of Conduct. A Certificate of Occupation must also be granted by the municipal authority before the HOA will agree that the build is complete.

Approved at the Board meeting 05 May 2022